

600 Kansas City St Rapid City, SD 57701 (605) 343-6102 www.teamtsp.com

Issued:	September 15, 2023
Bids Due:	September 21, 2023
Project Name:	Renovate General's Quarters – Camp Rapid, B250
TSP Project No:	03221580
Owner Project No:	CFMO# 466501

The following changes or modifications are to be incorporated into and become a part of the Contract Documents. The Bidder shall note receipt and make acknowledgement of this Addendum on the Bid Proposal, incorporating these provisions in the bid.

#### **PRODUCT APPROVALS:**

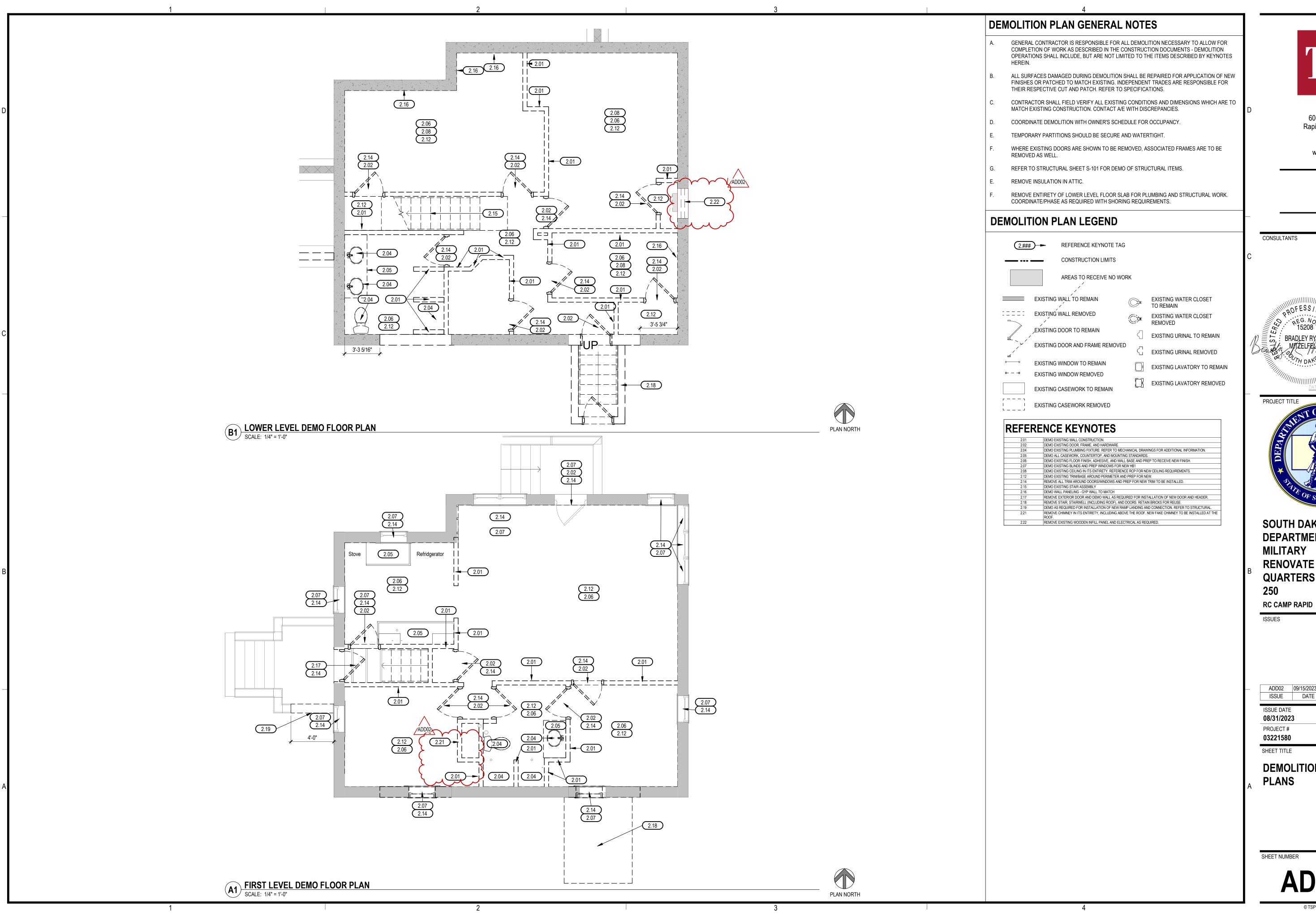
The following manufacturers and products have been approved for bidding. Final acceptance is contingent upon receipt and approval of final shop drawings/submittals. Manufacturers shall conform to all warranties, performances, sizes, materials, etc. as the item specified. The burden of proof of the merit of the proposed substitution is upon the proposer.

SECTION #	ITEM DESCRIPTION	<u>MANUFACTURER</u>
22 11 19	Point of Use Mixing Valve	Powers Controls
22 33 00	Water Heaters	State Industries
22 40 00	Faucets	American Standard

DRAWINGS:	
ITEM NO 1:	Revised Keynote 15 which appears on sheets S-101, S-102, S-103, & S-104 to read as follows "DEMOLISH EXISTING CHIMNEY. INFILL EXISTING OPENINGS IN FLOOR FRAMING AND ROOF FRAMING WITH BLOCKING AND DECKING (MATCH EXISTING) AS REQUIRED."
ITEM NO 2:	AD101, Lower Level Demolition Plan: Demo'd window infill where electricity enters the building. Fixed the keynote number for wall removal.
ITEM NO 3:	AP101, First Level Floor Plan: Removed the detail for the false chimney.
ITEM NO 4:	AP102, Lower Level Floor Plan: Indicated new infill where the wood window infill was.
ITEM NO 5:	AF101, Schedules: Changed door type B to a flat front.
ITEM NO 6:	ED101, Electrical Demolition Plan: Demo'd the existing exterior receptacle on the plan east wall.
ITEM NO 7:	EP101, Electrical Power Plans: Provided a new exterior receptacle on the plan east wall. Receptacle to be mounted where wall is to be patched at the exterior.

#### **ATTACHMENTS:**

Drawings AD101, AP101, AP102, AF101, ED101, EP101





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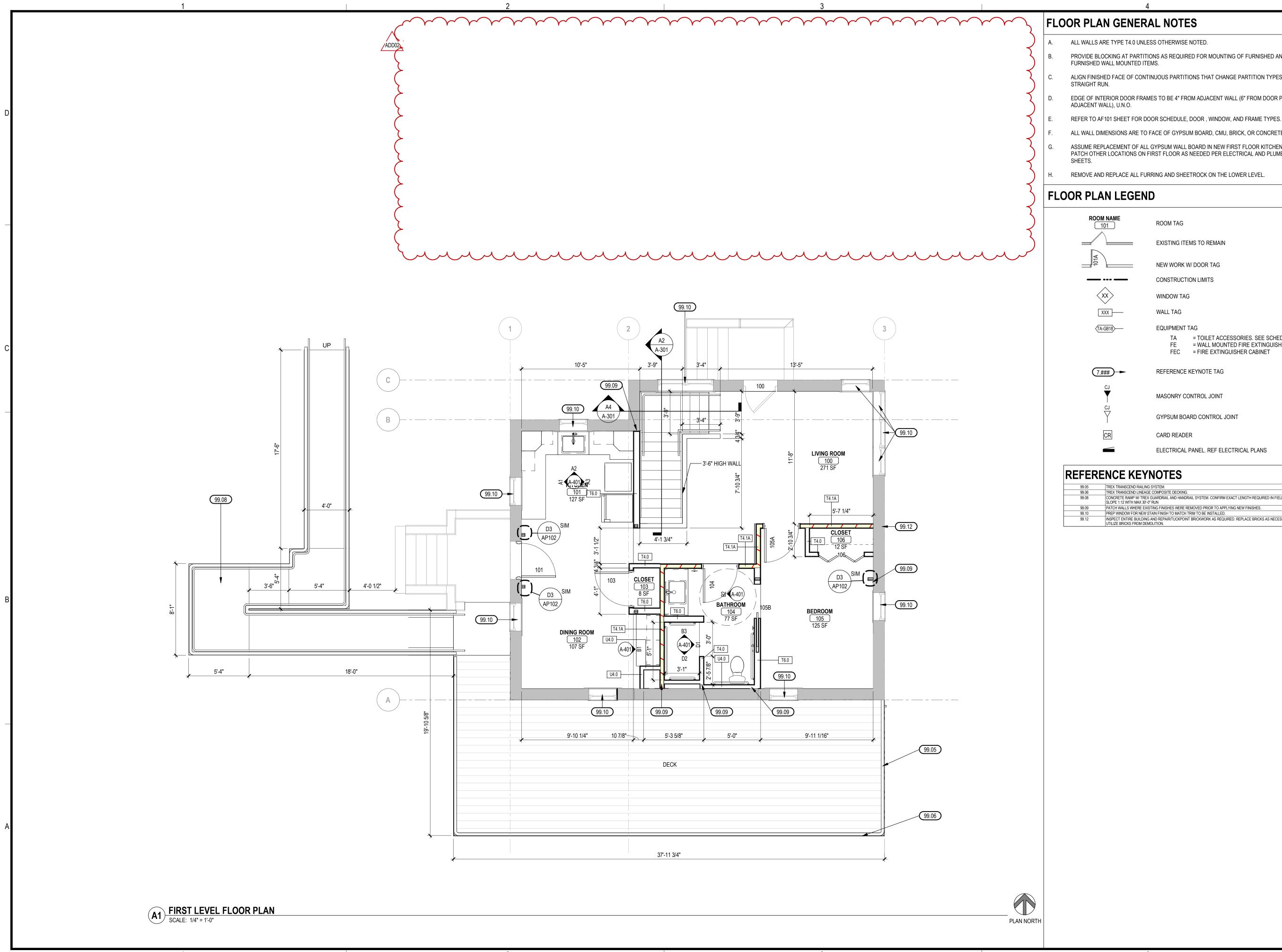
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**SOUTH DAKOTA DEPARTMENT OF THE MILITARY RENOVATE GENERALS QUARTERS BUILDING** 

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**DEMOLITION FLOOR** 





- PROVIDE BLOCKING AT PARTITIONS AS REQUIRED FOR MOUNTING OF FURNISHED AND NON-
- ALIGN FINISHED FACE OF CONTINUOUS PARTITIONS THAT CHANGE PARTITION TYPES ALONG A
- EDGE OF INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL (6" FROM DOOR PANEL TO
- ALL WALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CMU, BRICK, OR CONCRETE, U.N.O.
- ASSUME REPLACEMENT OF ALL GYPSUM WALL BOARD IN NEW FIRST FLOOR KITCHEN. CUT AND PATCH OTHER LOCATIONS ON FIRST FLOOR AS NEEDED PER ELECTRICAL AND PLUMBING
- REMOVE AND REPLACE ALL FURRING AND SHEETROCK ON THE LOWER LEVEL.

**ROOM TAG** EXISTING ITEMS TO REMAIN NEW WORK W/ DOOR TAG CONSTRUCTION LIMITS WINDOW TAG WALL TAG **EQUIPMENT TAG** TA = TOILET ACCESSORIES. SEE SCHEDULE FE = WALL MOUNTED FIRE EXTINGUISHER

FEC = FIRE EXTINGUISHER CABINET REFERENCE KEYNOTE TAG

MASONRY CONTROL JOINT GYPSUM BOARD CONTROL JOINT CARD READER

TREX TRANSCEND RAILING SYSTEM.

TREX TRANSCEND LINEAGE COMPOSITE DECKING.

CONCRETE RAMP W/ TREX GUARDRAIL AND HANDRAIL SYSTEM. CONFIRM EXACT LENGTH REQUIRED IN FIELD.
SLOPE 1:12 WITH MAX 30'-0" RUN

PATCH WALLS WHERE EXISTING FINISHES WERE REMOVED PRIOR TO APPLYING NEW FINISHES.

PREP WINDOW FOR NEW STAIN FINISH TO MATCH TRIM TO BE INSTALLED.

INSPECT ENTIRE BUILDING AND REPAIR/TUCKPOINT BRICKWORK AS REQUIRED. REPLACE BRICKS AS NECESSARY.
UTILIZE BRICKS FROM DEMOLITION.

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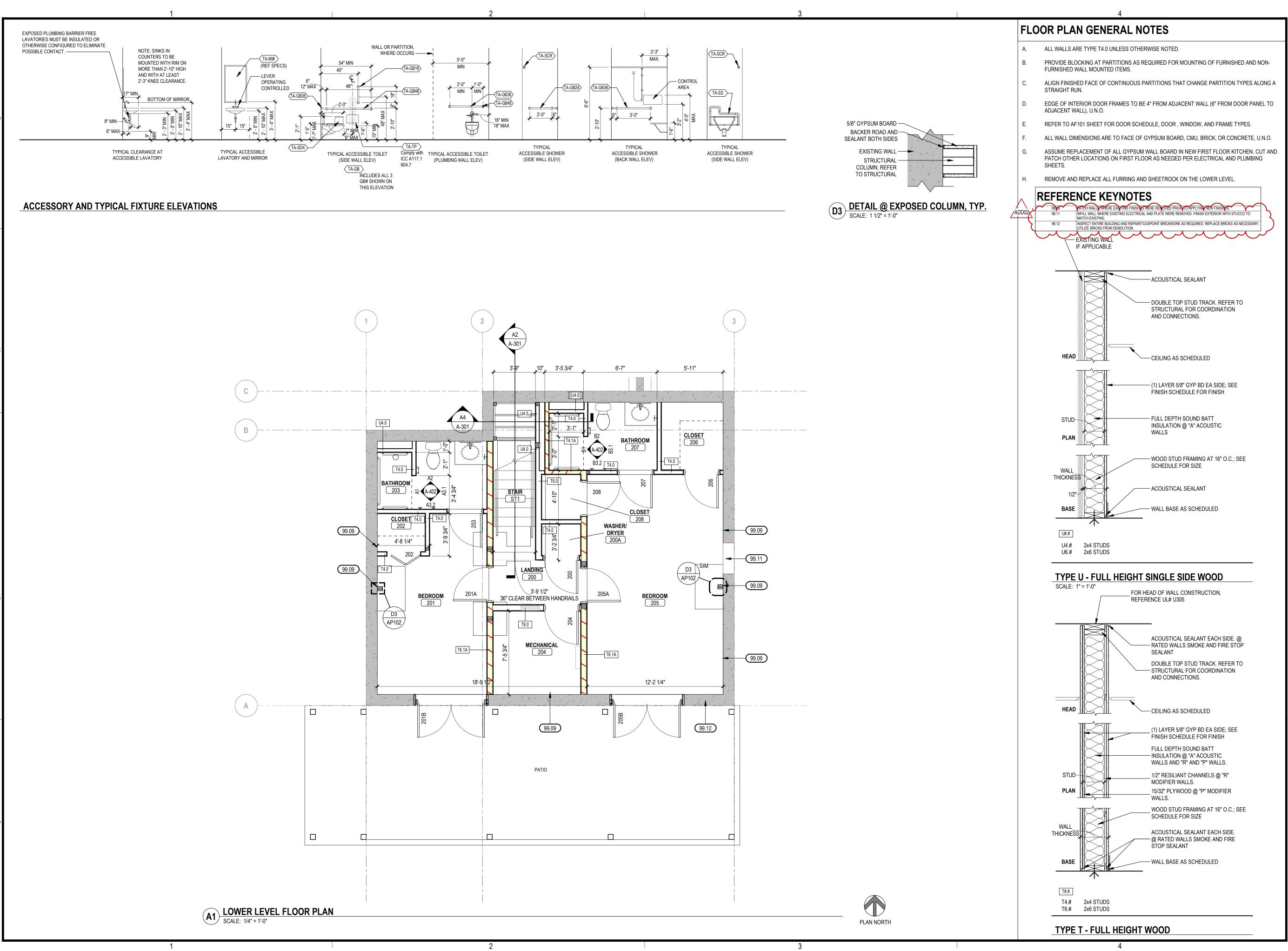
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FIRST LEVEL FLOOR **PLAN** 

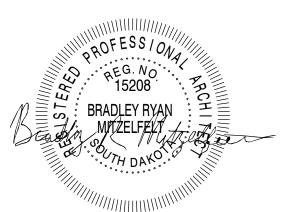


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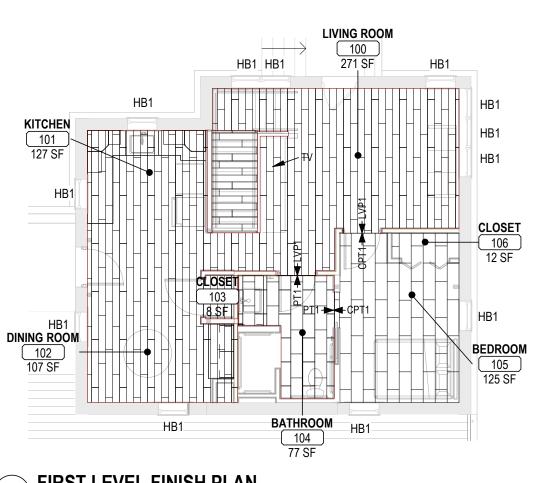
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LOWER LEVEL FLOOR PLAN

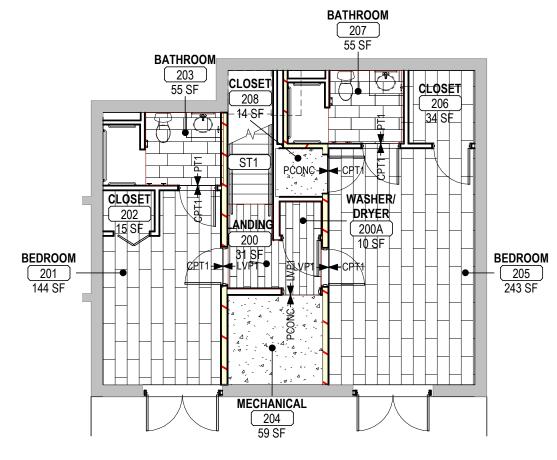
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# D1 FIRST LEVEL FINISH PLAN SCALE: 1/8" = 1'-0"



$\bigcirc$	LOWER LEVEL FINISH PLAN SCALE: 1/8" = 1'-0"
	SCALE: 1/8" = 1'-0"

FULL GLASS LITE HALF GLASS LITE BI-FOLD

DESIGN

MATCH EXISTING WATCH

GENERAL FRAME NOTES:  1. SEE DOOR SCHEDULE FOR DOOR FRAME FINISH  2. SEE DOOR SCHEDULE FOR GLAZING TYPE, U.N.O.  3. ANY/ALL DOORS ARE TO BE INSTALLED AS PER MANUFACTURER'S STANDARDS, DETAILS & INSTRUCTIONS  4. SEE SPECIFICATIONS FOR ANY/ALL ADDITIONAL DOOR & FRAME INFORMATION	
SEE 2" SCHED.  3TOUR SEE 4" SEE 4" SCHED.	BACKER ROD AND SEALANT  HM FRAME- INSULATE  CONT. SEALANT  DOOP - EYT HM HEAD - MTI STUD/RPICK

F	FG	G	В	CONT. SEALANT -	
	<b>†</b>	MATCH EXISTING FO		HM FRAME W/ (3) – ANCHORS PER JAMB MIN. INSULATE	
	┌─ INTEGR	AL BLIND —			
				BACKER ROD AND - SEALANT	
	F3			DOOR AS SCHEDULED -	
				1 DOOR - EXT HM SCALE: 1 1/2" = 1'-0"	HEAD - MTL STUD/BRICK
	SEE SCHEDULE			CONT. SEALANT —	
	) ) ) ) )			HM FRAME- INSULATE —	5"
				BACKER ROD AND — SEALANT	

DOOR - EXT HM JAMB - WD STUD/BRICK

	FINISH KEY									
SPEC SECTION	CODE	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	NUMBERS	COMMENTS			
06 20 23	WB	WOOD BASE   INTERIOR TRIM	MASTERCRAFT	PINE	NE UNFINISHED		TO BE STAINED BY MIXWAX MULBERRY, SIZE 5 1/4" WIDE			
06 41 13	WCC1	CABINETRY	WOODLAND	DOOR STYLE: TAYLOR   WOOD PAINT: WHITE SPECIES: MDF			KITCHEN & DINING			
06 41 13	WCC2	CABINETRY	WOODLAND	OOOR STYLE: TAYLOR   WOOD STAIN: SPICE SPECIES: RUSTIC HICKORY			BATHROOM VANITIES			
09 30 13	PT1	TILE	RAGNOUSA	PORCELIAN FLOOR TILE ALPINE WHITE AL		AL45	12" X 24"			
09 30 13	CT2	TILE	MILESTONE	CERAMIC TILE GLAZED	BALANCE	1102528	3 " X 12" GLOSSY   SHOWER WALL TILE & BATHROOM VANITY BACK WALL TILE			
09 65 13	RSTA	RUBBER STAIR TREAD NOSING	MANNINGTON COMMERCIAL	575 OVERLAP STAIR NOSING	LIGHT BEIGE	206				
09 65 19	LVP1	LVP FLOORING	MANNINGTON COMMERCIAL	SPACIA WOOD	WINDSOR OAK GOLDEN	SS5W12386	6" X 36"			
09 68 13	CPT1	CARPET	MOHAWK GROUP	DIGITAL TERRAIN	SULPHER	GT341	INSTALLATION METHOD: BRICK ASHLAR   12" X 36" TUFTED			
09 91 23	P1	PAINT - OVERALL	DIAMOND VOGEL		SANDSTONE PALETTE	0273	EGGSHELL SHEEN			
09 91 23	P2	PAINT - CEILINGS	DIAMOND VOGEL		DOVE WHITE	0018	FLAT SHEEN			
09 91 23	P3	PAINT - ACCENT	DIAMOND VOGEL		ATLANTIC WAVES	0473	EGGSHELL SHEEN			
09 93 00	ST	STAIN	MINWAX		MULBERRY	MW 473	STAIN WILL BE APPLIED TO ALL WINDOW TRIM, DOOR TRIM, HANDRAILS AND BASE THROUGHOUT ENTIRE BUILDING.			
12 21 13	HB1	BLINDS	HUNTER DOUGLAS	APPLAUSE CELLULAR SHADES	GELATO	E26-772	CORDLESS BLINDS TO BE INSTALLED IN ALL WINDOWS. DIMENSIONS TO BE VERIFED IN FIELD.			
12 36 61.16	SSM1	SOLID SURFACE COUNTERTOP	CORIAN SOLID SURFACE		SANDALWOOD		KITCHEN COUNTERTOP & KITCHEN FULL HEIGHT BACKSPLASH			
12 36 61.16	SSM2	SOLID SURFACE COUNTERTOP	CORIAN SOLID SURFACE		VENARO WHITE		COUNTERTOP FOR ALL BATHROOM - NO BACKSPLASH			

	ROOM FINISH SCHEDULE											
	WALLS CASEWORK						WALLS CASEWORK		EWORK			
ROOM #	ROOM NAME	FLOOR	BASE	CEILING	NORTH	EAST	SOUTH	WEST	CABINET	COUNTER	REMARKS	
100	LIVING ROOM	LVP1	WB	P2	P1	P1	P3	P1				
101	KITCHEN	LVP1	WB	P2	P1	P3		P1	WCC1	SSM1	FULL HEIGHT BACKSPLASH	
102	DINING ROOM	LVP1	WB	P2		P3	P1	P1	WCC1	SSM1	FULL HEIGHT BACKSPLASH	
103	CLOSET	LVP1	WB	P2	P1	P1	P1	P1				
104	BATHROOM	PT1	WB	P2	P3	P1	P1/P3	CT2	WCC2	SSM2	NO BACKSPLASH OR SIDESPLASH FROM COUNTERTOP	
105	BEDROOM	CPT1	WB	P2	P1	P3	P1	P1				
106	CLOSET	CPT1	WB	P2	P1	P1	P1	P1				
200	LANDING	LVP1	WB	P2	P1	P1	P1	P1				
200A	WASHER/ DRYER	LVP1	WB	P2	P1	P1	P1	P1				
201	BEDROOM	CPT1	WB	P2	P1	P1	P1	P3				
202	CLOSET	CPT1	WB	P2	P1	P1	P1	P1				
203	BATHROOM	PT1	WB	P2	CT2/P1	P3	P1	CT2/P3	WCC2	SSM2	NO BACKSPLASH OR SIDESPLASH FROM COUNTERTOP	
204	MECHANICAL	PCONC	WB	P2	P1	P1	P1	P1				
205	BEDROOM	CPT1	WB	P2	P1	P3	P1	P1				
206	CLOSET	CPT1	WB	P2	P1	P1	P1	P1				
207	BATHROOM	PT1	WB	P2	CT2/P1	P3	P1	CT2/P3	WCC2	SSM2	NO BACKSPLASH OR SIDESPLASH FROM COUNTERTOP	
208	CLOSET	PCONC	WB	P2	P1	P1	P1	P1				
ST1	STAIR	LVP1/ RSTA	WB	P2	P1	P1	P1	P1				

DOOR SCHEDULE											
		DOOR			FRAME						
DOOR NO.	WIDTH X HEIGHT	TYPE	MATERIAL	GLAZING	TYPE	MATERIAL	GLAZING	RATING	HDWR	COMMENTS	
101	3'-0" x 6'-8"	G	HM	GL3.1 FT	F3	HM	-	-		INTEGRAL BLIND	
103	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-			
104	3'-0" x 6'-8"	F	WD	-	F1	WD	-	45MIN			
105A	3'-0" x 6'-8"	F	WD	-	F1	WD	-	45MIN			
105B	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-		POCKET DOOR	
106	4'-0" x 6'-8"	В	WD	-	F1	WD	-	-		4 PANELS	
200	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-			
201A	3'-0" x 6'-8"	F	WD	-	F1	WD	-	45MIN			
201B	6'-0" x 6'-8"	FG	HM	GL3.1 FT	F3	HM	-		1	INTEGRAL BLIND	
202	3'-0" x 6'-8"	В	WD	-	F1	WD	-	-		2 PANELS	
203	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-			
204	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-			
205A	3'-0" x 6'-8"	F	WD	-	F1	WD	-	45MIN			
205B	6'-0" x 6'-8"	FG	HM	GL3.1 FT	F3	HM	-	-	1	INTEGRAL BLIND	
206	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-			
207	3'-0" x 6'-8"	F	WD	-	F1	WD	-	-			
208	3'-0" x 6'-8"	F	WD	-	F1	WD	-	45MIN			

## **GLAZING LEGEND**

GL3.1 = 1" INSULATING CLEAR

ALL GLASS TO BE HEAT STRENGTHENED UNLESS DESIGNATED AS "FT" SUFFIX (FULLY TEMPERED)

### FINISH PLAN GENERAL NOTES

- A. CLEAN ALL EXPOSED SURFACES PRIOR TO PRIMING AND PAINTING.
- PAINT ALL EXPOSED DUCTWORK, STRUCTURE, CONDUIT, ELECTRICAL BOXES, AND SIMILAR,
- C. PAINT ALL EXPOSED CMU AND GYP BD, U.N.O.
- SEE REFLECTED CEILING PLANS FOR SOFFIT LOCATIONS AND HEIGHTS
- PROVIDE APPROPRIATE FLOORING TRANSITION TYPE. (CENTER UNDER DOOR AT DOOR LOCATIONS)

#### **FINISH PLAN LEGEND**

ROOM NAME **ROOM TAG** CPT1-► CPT2 FINISH TRANSITION CPT1 → 7.### REFERENCE KEYNOTE TAG LVP1 HORIZONTAL LAY PATTERN LVP1 VERTICAL LAY PATTERN PT1 CPT1

**PCONC** 

## DOOR SCHEDULE ABBREVIATIONS

ALUMINUM **EXISTING HOLLOW METAL** INSULATED HOLLOW METAL WOOD STAINLESS STEEL

#### **ROOM FINISH SCHEDULE GENERAL NOTES**

A. PAINT ALL EXPOSED STRUCTURE. U.N.O.

#### **ROOM FINISH SCHEDULE REMARKS**

- PROVIDE FLOORING TRANSITIONS AT EVERY CHANGE OF MATERIAL. TRANSITIONS SHOULD OCCUR UNDER THE CENTER OF THE DOOR. FLOORING TRANSITIONS:
  - SHEET VINYL / LUXURY VINYL PLANK OR TILE: BUTT JOINT RESILIENT FLOORING / CARPET TILE: SCHLUTER SCHIENE STAINLESS STEEL RESILIENT FLOORING / CONCRETE: SCHLUTER RENO RAMP STAINLESS STEEL RESILIENT FLOORING / PORCELAIN TILE: SCHLUTER SCHIENE STAINLESS STEEL PORCELAIN WALL TILE OUTSIDE CORNERS: SCHLUTER QUADEC STAINLESS STEEL
  - EXPOSED EDGE OF WALL TILE: SCHLUTER JOLLY STAINLESS STEEL PORCELAIN TILE / WALL TILE: SCHLUTER DILEX STAINLESS STEEL WALL TILE, INSIDE OR OUTSIDE CORNER WHERE CHANGING FROM ONE TILE SIZE
  - TO ANOTHER AND THE HORIZONTAL GROUT JOINTS WILL NOT LINE UP: INSIDE CORNERS: SCHLUTER DILEX STAINLESS STEEL OUTSIDE CORNERS: SCHLUTER QUADEC STAINLESS STEEL FLOAT UP VINYL TO BE FLUSH WITH TRANSITION STRIP
- INTEGRAL COVE SHEET VINYL: HEAT WELD TO MATCH SPECKLE, 6" HIGH INTEGRAL BASE WITH BONDED STAINLESS STEEL CAP, PUNCTURE PROOF ALUMINUM COVE REINFORCEMENT. 1. CG: CORNER GUARD, PROVIDE ON ALL OUTSIDE CORNERS
- WP: VINYL WALL PROTECTION COUNTERTOPS: COUNTERTOPS WITHOUT SINKS: 1-1/8" THICK PLASTIC LAMINATE WITH 3MM
- EDGES AND INTEGRAL BACKSPLASH. COUNTERTOPS WITH SINKS: 1-1/2" THICK PLASTIC LAMINATE WITH DOUBLE BULLNOSE (R-1/4" TOP AND BOTTOM) RETURN LAMINATE 1" UNDER
- COUNTERTOP, INTEGRAL BACKSPLASH. ALL COUNTERTOPS TO HAVE 1-1/2" RADIUS ON ALL OUTSIDE CORNERS.
- SOLID SURFACE COUNTERTOPS TO BE 1-1/2" THICK WITH EASED EDGES.

#### STANDARD INTERIOR ABBREVIATIONS

APC ACOUSTICAL PANEL CEILING AWP ACOUSTICAL WALL PANEL **BCMU** BURNISHED CONCRETE MASONRY UNIT CG CMU CORNER GUARD CONCRETE MASONRY UNIT CONC CONCRETE

CPT CARPET CERAMIC TILE DCMU DECORATIVE CONCRETE MASONRY UNITS **EPOXY PAINT** 

**EPOXY FLOORING** FIBERGLASS REINFORCED PANEL GLT **GLASS TILE** 

GROUT GYPSUM WALL BOARD GWB LUXURY VINYL TILE METAL BASE MPC METAL PANEL CEILING **PCONC** POLISHED CONCRETE PLASTIC LAMINATE PLAM

PORCELAIN TILE PTB PORCELAIN TILE BASE QUARRY TILE QTB QUARRY TILE BASE RESILIANT ATHLETIC FLOORING RUBBER FLOORING RBRT RUBBER TILE FLOORING

RBRS RUBBER SHEET FLOORING RSTA RUBBER STAIR TREAD / NOSING **RESINOUS PANEL** SCONC SEALED CONCRETE

SCMU SSM SPLITFACED CONCRETE MASORY UNIT SOLID SURFACE MATERIAL STAIN STCONC SVF STAINED CONCRETE SHEET VINYL FLOORING TER TERRAZZO

RESILIANT BASE VINYL COMPOSITION TILE VINYL WALL COVERING WOOD BASE WALK-OFF CARPET TILE WCPT WALL PROTECTION WOOD PANEL CEILING

WALL GUARD

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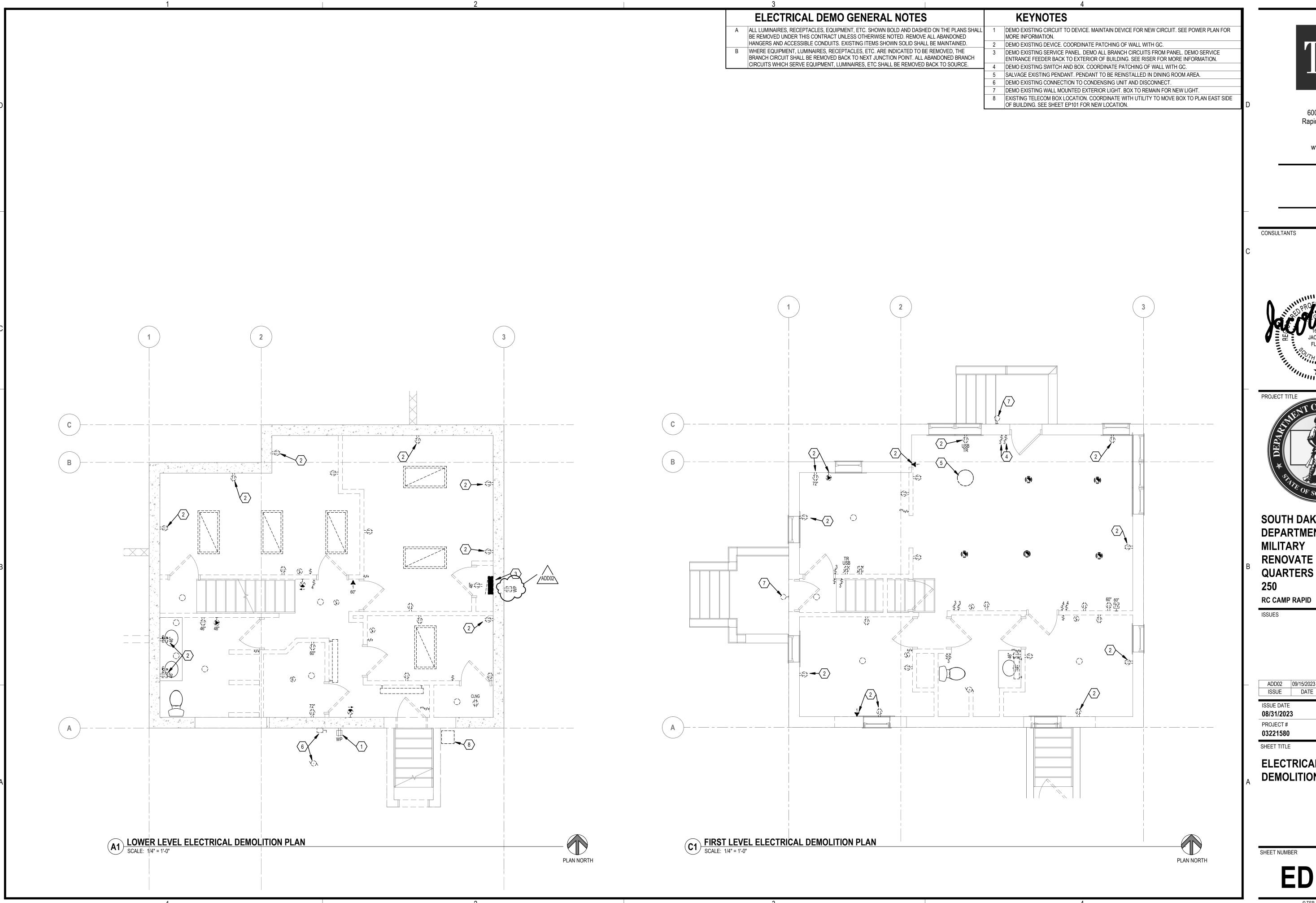
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**FINISH FLOOR PLAN** AND SCHEDULES

SHEET NUMBER

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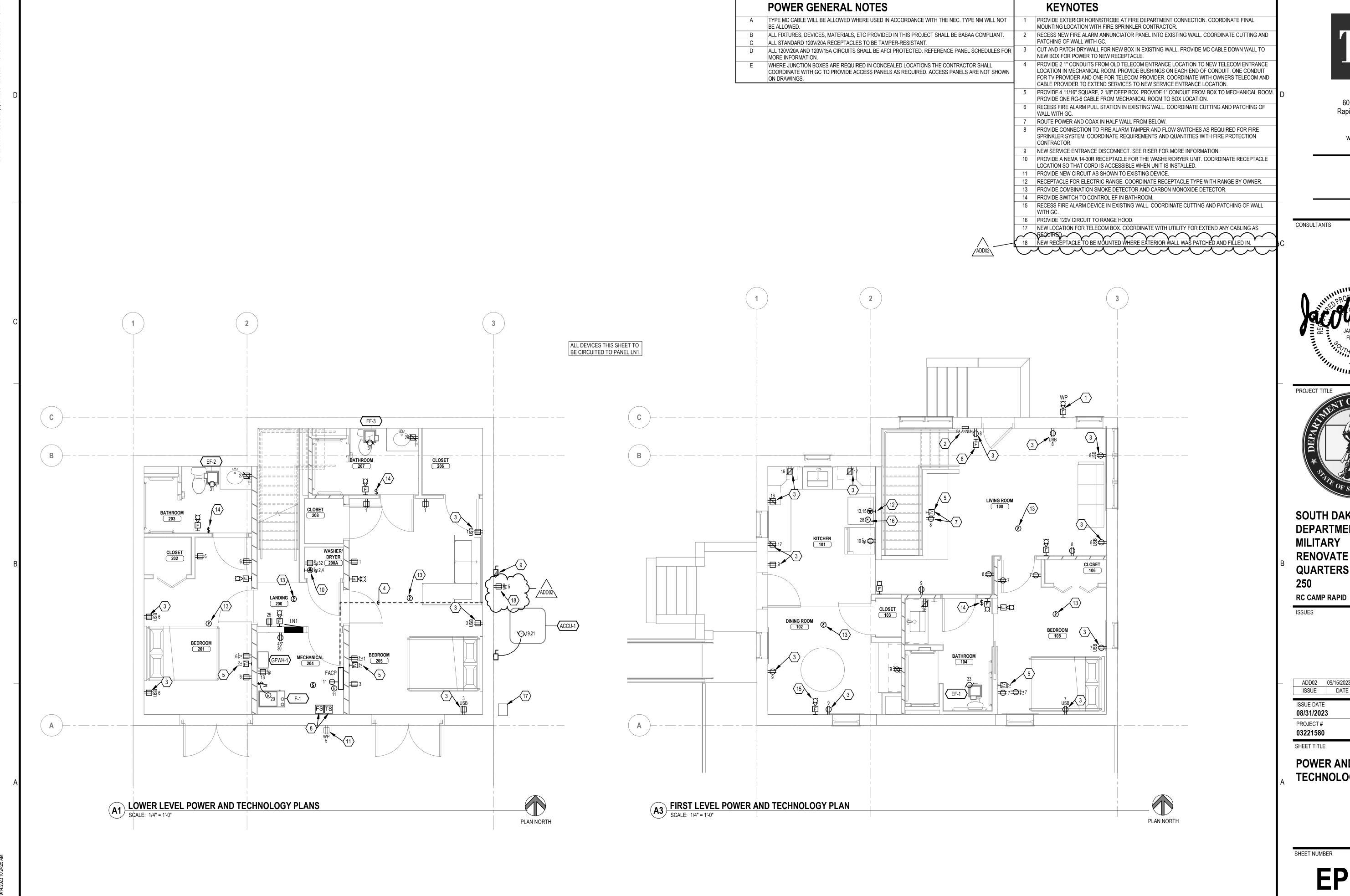




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